

VILLAGE OF BRADLEY

RESOLUTION NO. R-10-25-02

A RESOLUTION AUTHORIZING THE PURCHASE OF BUILDING KIT FOR A STORAGE
FACILITY 315 SPORTS COMPLEX

ADOPTED BY THE
BOARD OF TRUSTEES OF THE
VILLAGE OF BRADLEY

THIS 13th DAY OF October, 2025

Published in pamphlet form by the authority of the Board of Trustees of the Village of Bradley,
Kankakee County, Illinois this 13TH day of October, 2025

RESOLUTION NO. R-10-25-02

**A RESOLUTION AUTHORIZING THE PURCHASE OF BUILDING KIT FOR A
STORAGE FACILITY 315 SPORTS COMPLEX**

WHEREAS, the Corporate Authorities of the Village of Bradley, Kankakee County, Illinois, have the authority to adopt resolutions and to promulgate rules and regulations that pertain to its government and affairs and protect the public health, safety, and welfare of its citizens; and

WHEREAS, pursuant to Section 2-3-8 of the Illinois Municipal Code (65 ILCS 5/2-3-8), the Corporate Authorities of the Village are authorized to enter into contracts that support and advance the legitimate public purposes of the Village; and

WHEREAS, the Corporate Authorities of the Village have determined that it is necessary, expedient, and in the best interests of the Village and its citizens to purchase a building kit for the construction of a storage facility at the 315 Sports Complex (the "project"); and

WHEREAS, Village Staff has requested and received a quote for a building kit from American Buildings Company, LLC (American Buildings) of El Paso, IL ("the Company"), a copy of which is attached hereto as Exhibit A and fully incorporated herein and

NOW THEREFORE, BE IT RESOLVED BY THE CORPORATE AUTHORITIES OF THE VILLAGE OF BRADLEY, KANKAKEE COUNTY, ILLINOIS, PURSUANT TO ITS STATUTORY AUTHORITY, AS FOLLOWS:

SECTION 1. PURCHASES AUTHORIZED

The Village President is authorized and directed to execute an agreement with American Buildings for the purchase of a building kit for the 315 Sports Complex, the total cost authorized shall not exceed one hundred fifty-eight thousand five hundred fifty-two dollars and 00/100 (\$158,552.00); and

SECTION 2. The Corporate Authorities hereby waive, by an affirmative vote of two-thirds (2/3) of the trustees presently holding office, any and all competitive bidding requirements as might otherwise be applicable to the purchases authorized by this Resolution.

SECTION 3 In the event that any provision or provisions, portion or portions, or clause or clauses of this Resolution shall be declared to be invalid or unenforceable by a Court of competent jurisdiction, such adjudication shall in no way affect or impair the validity or enforceability of any of the remaining provisions, portions, or clauses of this Resolution that may be given effect without such invalid or unenforceable provision or provisions, portion or portions, or clause or clauses.

SECTION 4. All ordinances, resolutions, motions, or parts thereof, conflicting with any of the provisions of this Resolution, are hereby repealed to the extent of the conflict.

SECTION 5. The Village Clerk is hereby directed to publish this Resolution in pamphlet form.

SECTION 6. This Resolution shall be in full force and effect from and after its passage, approval, and publication in pamphlet form as provided by law.

[Intentionally Blank]

PASSED by the Board of Trustees on a roll call vote on the 13th day of October, 2025.

TRUSTEES:

RYAN LEBRAN	Aye - <u>X</u>	Nay - <u> </u>	Absent - <u> </u>
BRIAN BILLINGSLEY	Aye - <u>X</u>	Nay - <u> </u>	Absent - <u> </u>
DARREN WESTPHAL	Aye - <u>X</u>	Nay - <u> </u>	Absent - <u> </u>
BRIAN TIERI	Aye - <u>X</u>	Nay - <u> </u>	Absent - <u> </u>
GRANT D. VANDENHOUT	Aye - <u> </u>	Nay - <u> </u>	Absent - <u>X</u>
GENE JORDAN	Aye - <u>X</u>	Nay - <u> </u>	Absent - <u> </u>

VILLAGE PRESIDENT:

MICHAEL WATSON	Aye - <u>X</u>	Nay - <u> </u>	Absent - <u> </u>
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TOTALS:	Aye - <u>6</u>	Nay - <u>0</u>	Absent - <u>1</u>
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ATTEST:



KHAMSEO NELSON, DEPUTY VILLAGE CLERK

APPROVED this 13th day of October, 2025.


MICHAEL WATSON, VILLAGE PRESIDENT

ATTEST:



KHAMSEO NELSON, DEPUTY VILLAGE CLERK

STATE OF ILLINOIS)
) §§
COUNTY OF KANKAKEE)

I, Khamseo Nelson, Deputy Village Clerk of the Village of Bradley, County of Kankakee and State of Illinois, DO HEREBY CERTIFY that the attached is a true, perfect, and complete copy of Resolution number **R-10-25-02**, "A RESOLUTION AUTHORIZING THE PURCHASE OF BUILDING KIT FOR A STORAGE FACILITY 315 SPORTS COMPLEX " which was adopted by the Village Corporate Authorities at a meeting held on the 13TH day of OCTOBER, 2025.

IN WITNESS WHEREOF, I have hereunto set my hand in the Village of Bradley, County of Kankakee and State of Illinois, on this 13TH day of OCTOBER, 2025.



KHAMSEO NELSON, DEPUTY VILLAGE CLERK

(SEAL)



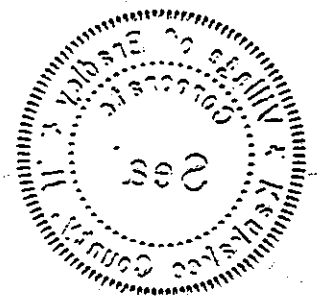


Exhibit A

QUOTE AND ORDER DOCUMENT
AMERICAN BUILDINGS

American Buildings Company Illinois, LLC
2101 East Main - El Paso, IL 61738
- Phone: (309) 527-1500 - Fax: (309) 527-1522

PROJECT #:
QUOTE #: M0L-25049-R3
CUST QUOTE #: Preliminary
LABEL: 4 - Created from 2
CONTROL #: P202508291657

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DATE: 8/29/2025

1) ORDER INFORMATION

Project Name: Baseball Storage

Buyer Name: JOHNSON-DOWNS CONSTR CO

Buyer Address: 140 W. MERTENS ST.
KANKAKEE, IL 60901
United States

Buyer Contact: Jeff Downs

Contact Phone: (815) 932-2136

Contact Fax: (815) 932-2681

Contact Mobile Phone:

Contact Email: jeffd@johnsondowns.com; jrwoods8039@att.net

Buyer P.O. #:

(For Reference Only)

End Customer:

Order Type: Production Order

Anchor Bolt Drawings: 1 sets

Erection Drawings: 1 sets

Permit Drawings: 1 sets

Progress Drawings: 1 sets

ShakeoutPro: No

Send Drawings Via: ☐ Mail ☒ Email (.pdf format only)

Shipping/Jobsite TBD

Address: Bradley, IL 60915
United States

Jobsite County: Kankakee

Est. # of Trucks: TBD

Freight Method: EXW Loaded Allowed to Shipping Address

Ferry Transport: N/A

Building End Use: 3B - Commercial warehousing and storage

Quote Requested: 7/31/2025

Requested Delivery:

Buildings in this Order: 1

Building Warranty: Two Years

Shipping Instructions:

SELLER STANDARD COLOR CODES

Miscellaneous Finishes GM Finish (25 yr Std. Warranty)	Silicone Modified Polyester (SMP) SP Cool Coatings Finish (25 yr Standard Warranty)	PVDF Finish (35 yr Standard Warranty) Standard Upcharge Applies
Galvalume Plus: GM	Aztec Blue (SP): AB Polar White (SP): PW Brick Red (SP): BD Sagebrush Tan (SP): SA Burnished Slate (SP): BS Sandstone (SP): SS Fox Gray (SP): FG To Be Selected (SP): TBS Forest Green (SP): FO	Midnight Black (PVDF): BL Regal White (PVDF): RW Brite Red (PVDF): BT Slate Gray (PVDF): SG Charcoal (PVDF): CH Surrey Beige (PVDF): SU Cypress Green (PVDF): CY To Be Selected (PVDF): TBK Dark Bronze (PVDF): DB Terra Cotta (PVDF): TC Desert Sand (PVDF): DS Warm White (PVDF): WW Pearl Gray (PVDF): PG Reflective White (PVDF): RF Royal Blue (PVDF): RO
Primary and Secondary Primer	Polyester Finish (No Finish Warranty)	Metl-Span Tuff Cote Finish (10 Year Limited Warranty)
Gray Primer: GP Galvanized: GZ Galvanized Hot Dipped: HD No Paint: NP Red Primer: RP	Igloo White: IG IG : For interior applications only on Insulated Metal Panels	Antique Bronze: AN Surrey Beige: SB Light Gray: LG Textured White: TW Light Stone: LS Warm Limestone: WL Medium Beige: MB

2) BUILDING DESCRIPTION

BUILDING INFORMATION

Building Name	Building Profile	Building Width	Building Length	Distance to Ridge	Actual Eave Ht.		Roof Slope		Structural Steel Color	
					FSW	BSW	FSW	BSW	Primary	Wall Sec.
Baseball Building	Gable Symmetrical	75'-0"	120'-0"	37'-6"	24'-0"	24'-0"	3:12"	3:12"	RP	RP

* Unless noted in Special Requirements all structural members not fabricated of prepainted or galvanized material or treated with a corrosion resistant coating are painted with one coat of shop primer. The coat of shop primer is intended to protect the steel for only a short period of exposure to ordinary atmospheric conditions.

ROOF SECONDARY INFORMATION

Building Name	Secondary Type	Purlin Tie-in	Roof Sec. Color	Purlin Depth*	Typical Purlin Spacing
Baseball Building	Purlins	None	RP	Per Seller	Per Seller

* All program generated depth and spacing is subject to change in final design.

SIDEWALL AND ENDWALL SPACING

Building Name	Sidewall Bay Spacing (From LEW)	FSW Soldier Column Spacing (From LEW)	BSW Soldier Column Spacing (From LEW)	Left Endwall (LEW) Column Spacing (From FSW)	Right Endwall (REW) Column Spacing (From FSW)
Baseball Building	1@22'-6", 3@25'-0", 1@22'-6"	N/A	N/A	3@25'-0"	3@25'-0"

GIRT CONDITION, DEPTH, AND SPACING

Building Name	Front Sidewall (FSW)		Back Sidewall (BSW)		Left Endwall (LEW)		Right Endwall (REW)	
	Condition	Depth*	Condition	Depth*	Condition	Depth*	Condition	Depth*
	Elevation(s)		Elevation(s)		Elevation(s)		Elevation(s)	
Baseball Building	Inset	Per Seller	Inset	Per Seller	Inset	Per Seller	Inset	Per Seller
	Per Seller		Per Seller		Per Seller		Per Seller	

* All program generated depth and spacing is subject to change in final design.

3) PROJECT LOAD REQUIREMENTS

Building Code: IBC 2021

Design to be in accordance with Common Industry Practices as described by the current MBMA Metal Building Systems Manual. Information on this order overrides that on plans or specifications.

UL90 Rated: No

Occupancy Classification: I - Low Hazard

Live Load: 20 psf Reducible per Code

Ground Snow Load: 20 psf

Snow Exposure Coefficient (Ce): 0.9 - Fully Exposed

Wind Speed: 107 mph

Wind Exposure: C

Seismic Information: Ss: 0.130

S1: 0.072

Site Class: D Assumed

Rainfall intensity: 6.41 in/hr (5-min duration at 5 year recurrence)

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4) BUILDING LOAD REQUIREMENTS

LOAD REQUIREMENTS

Building Name	Roof Dead Load	Roof Snow Load	Wind Enclosure	Thermal Coeff. (Ct)	Primary Collateral	Secondary Collateral	Collateral Load Due To	Roof Insulation R<30 and/or Roof Obstruction Exists
Baseball Building	Per Seller Std.	16.0 psf*	Enclosed	Structure Held Just Above Freezing(1.1)	3.0 psf	3.0 psf	Mech/Elec/Sprinkler	No

* Minimum roof snow load(Pm) for low-slope roofs.

DEFLECTION REQUIREMENTS (Serviceability Criteria)

Building Name	Purlin / Joist Deflection		Main Frame Deflection		Girt Deflection		Main Frame Sidesway	
	General	Ceiling	General	Ceiling	Steel Panel	Reinf. Masonry	Steel Panel	Reinf. Masonry
Baseball Building	L/150 Std.	N/A	L/180 Std.	N/A	L/90 Std.	N/A	H/60 Std.	N/A

"Other" Deflection Requirements: (See Special Requirements)

ADDITIONAL BUILDING COMPONENTS

Building Name	Additional Existing Building or Natural Obstruction Not Defined in Box 25?	Does Additional Obstruction cause Snow Drift?	Solar Panels on Roof?	Other Loads
Baseball Building	No Additional Obstruction	N/A	N/A	N/A

The Project Architect or the Engineer of Record is responsible for specifying Design Loads in accordance with the governing Building Code, local requirements (if any), and special end use requirements. The Manufacturer's Engineer does NOT serve as the Engineer of Record. (See the current MBMA Metal Building Systems Manual). Loads specified will be applied in general accordance with the engineering formulas of the specified code. Code requirements for fire, egress, ADA compliance, and other considerations are the responsibility of the buyer.

5) FRAME INFORMATION

BUILDING NAME: Baseball Building

Cold Formed Materials Allowed on Frame Line(s): 1,6

Frame Line	Frame Type	Future Expansion	Interior Module Spacing(From FSW)	Int. Column Type	Straight Cols		Column Base Elevation		
					FSW	BSW	FSW	BSW	Int.
1 (LEW)	Post and Beam Multi Span - EMG	N/A	3@25'-0"	N/A	Yes	Yes	5'-0"	5'-0"	5'-0"
2 - 5	Rigid Frame Clear Span - RCG	N/A	1@75'-0"	N/A	No	No	5'-0"	5'-0"	N/A
6 (REW)	Post and Beam Multi Span - EMG	N/A	3@25'-0"	N/A	Yes	Yes	5'-0"	5'-0"	5'-0"

Base Plate Elevations: Negative values are below finish floor (B.F.F.) and positive values are above finish floor (A.F.F.).

6) ROOF PANEL

Building Name	Roof Panel Type	Ext. Gauge	Ext. Color	Clip Type	Roof Insulation	Min. TSB R-Value	Insulation By Seller?	Insulation Pan	Staggered Endlaps	Weather Tightness Warranty
Baseball Building	Standing Seam 360	24 ga.	TBK	Sliding	R-19 (6") - Single Layer Faced Blanket - Tall Clips w/TBreak	R-3.5	Yes	No	Yes	None

Roof warranty options apply only to Seller's standard Finishes. Refer to the Seller's Warranty Instruction Guide.

For insulation options with a cavity, the cavity needs to be completely filled to avoid condensation issues. Sag and Bag: First layer of faced insulation is installed perpendicular to and over the purlins, with the overall extra length to sag down evenly in between the purlins. Second layer is installed parallel to and between the purlins on top of the "sagged" faced insulation.

Seller recommends tall clips for R-Value 'R-19'.

**** Developmental Industries (DI Roof Seamers) is the sole supplier of all rented and purchased tools for all Nucor Buildings Group roof panels. To rent roof panel seamers or purchase hand tools, visit <http://diroofseamers.com/nbg> or call 1 (888) 343-0456.**

6) ROOF PANEL (CONTINUED)

SELLER INSULATION INFORMATION

Building Name	Thermal Break	Facing/Vapor Retarder	Facing/Retarder Color	Starter Roll Width	Typical Roll Width	Tape/Tabs
Baseball Building	Thermal Spacer Block	WMP-50	White	3'-0"	6'-0"	6" Tab(Qty. 1)

7) ROOF LINE TRIM

FRONT SIDEWALL (FSW) TRIM INFORMATION

Building Name	Trim Texture	Front Sidewall (FSW) Eave Trim	FSW Eave Trim Color	Downspout Condition	Downspout Color	Gutter to Downspout Transition	Delete Elbow at Base?
Baseball Building	Smooth	On-Slope Gutter w/ Downspouts	TBK	Corrugated Downspouts	TBK	Standard "S"	No

BACK SIDEWALL (BSW) TRIM INFORMATION

Building Name	Trim Texture	Back Sidewall (BSW) Eave Trim	BSW Eave Trim Color	Downspout Condition	Downspout Color	Gutter to Downspout Transition	Delete Elbow at Base?
Baseball Building	Smooth	On-Slope Gutter w/ Downspouts	TBK	Corrugated Downspouts	TBK	Standard "S"	No

RIDGE TRIM INFORMATION

Building Name	Ridge Trim Profile	Peak Box Material
Baseball Building	Press Broke	Field Fabricated

ENDWALL TRIM INFORMATION

Building Name	LEW Trim Texture	Left Endwall (LEW) Rake Trim	LEW Rake Trim Color	REW Trim Texture	Right Endwall (REW) Rake Trim	REW Rake Trim Color
Baseball Building	Smooth	Sculptured Rake	TBK	Smooth	Sculptured Rake	TBK

8) ROOF ACCESSORIES - NONE REQUIRED

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9) WALL PANEL

Building Name	Wall ID	Wall Panel Type	Ext. Gauge	Ext. Color	Wall Insulation	Insulation By Seller?	Corner Trim Color	Include Closures	Base Closures	Washers On Fasteners
Baseball Building	All	R-Panel	26 ga.	TBK	R-13 (4") - Single Layer Faced Blanket	Yes	TBK	Yes	Yes	Yes

*Wall Insulation is not provided by Seller, unless indicated otherwise above. Insulation prevents condensation, noise and damage due to wind. Due consideration must be given by the designer to these issues. Thermal Tape is typically 1/8 in to 1/4 in thick. NOTE: Thermal Blocks and Thermal Tape are not provided by Seller.

For information regarding finish warranty, reference the 'Seller Standard Color Codes' table in Box 1 of this document.

For insulation options with a cavity, the cavity needs to be completely filled to avoid condensation issues.

** Sheeting has been removed due to Full Deletion

Wall warranty options apply only to Seller's standard Finishes. Refer to the Seller's Warranty Instruction Guide.

Please schedule fabrication and delivery of steel to coincide closely with your erection schedule. This will minimize the possibility of damage due to exposure to the elements. Panels must be kept free of moisture and debris at all times. See instruction on panel bundles, Seller's Wall Sheeting Erection Guide and the construction details. Improper storage or handling will diminish the life of the product and VOIDS all warranties.

BASE TRIM CONDITIONS

Building Name	Wall ID	Base Trim Type	Base Trim Color	Vertical Dimension "X"	Horizontal Dimension "Y"
Baseball Building	All	Base Angle w/ Trim	TBK	N/A	N/A

Note: Masonry fasteners are not supplied by Seller.

SELLER INSULATION INFORMATION

Building Name	Wall ID	Min.TSB R-Value	Facing/Vapor Retarder	Facing/Retarder Color	Starter Roll Width	Typical Roll Width	Tape/Tabs
Baseball Building	All	N/A	WMP-50	White	3'-0"	6'-0"	6" Tab(Qty. 1)

10) FRAMED OPENINGS

WALL FRAMED OPENINGS

Building Name	Wall ID	Width	Height	Qty	Factory or Field Located	Loc. Left Steel Line	Framed Opening Type	Sill Height	Cover Trim?	F.O. Trim Color	Wind Load Conf.?	Allow X-Brc?
Baseball Building	LEW	18'-0"	14'-0"	1	Factory	28'-6"	Vertical Lift	0'-0"	Yes	TBK	Yes	No
Baseball Building	REW	18'-0"	14'-0"	1	Factory	28'-6"	Vertical Lift	0'-0"	Yes	TBK	Yes	No

Sill Height is measured from the finish floor elevation. Cover trim (If selected) will match the F.O. Trim color unless specified otherwise in the notes section (box 27) of contract.

All framed openings with a wind load confirmation of "Yes" assume the use of accessories designed to be fully wind-resistive based on the loading specified in the Load Requirement section. All framed openings with a wind load confirmation of "No" will be considered in the building design as though they were permanently open to the outside.

PARTITION WALL FRAMED OPENINGS - None Required

11) WALL DELETIONS

ID	Building Name	Wall ID	Loc. LSL	Width	Top Elevation	Open / Materials?	Allow X-Bracing?	Remove Panels	Remove Insulation
					Bottom Elevation	Support Type*	Col. Fig. Bracing	Remove Girts	Wind Load Conf.
1	Baseball Building	LEW	Full Width	Full Width	3'-0"	12" Concrete Block or Masonry Independent	Yes No	Yes Yes	Yes Yes
2	Baseball Building	LEW	Full Width	Full Width	5'-0" 3'-0"	12" Concrete Block or Masonry Independent	Yes No	No Yes	Yes Yes
3	Baseball Building	FSW	Full Width	Full Width	3'-0" 0'-0"	12" Concrete Block or Masonry Independent	Yes No	Yes Yes	Yes Yes
4	Baseball Building	FSW	Full Width	Full Width	5'-0" 3'-0"	12" Concrete Block or Masonry Independent	Yes No	No Yes	Yes Yes
5	Baseball Building	REW	Full Width	Full Width	3'-0" 0'-0"	12" Concrete Block or Masonry Independent	Yes No	Yes Yes	Yes Yes
6	Baseball Building	REW	Full Width	Full Width	5'-0" 3'-0"	12" Concrete Block or Masonry Independent	Yes No	No Yes	Yes Yes
7	Baseball Building	BSW	Full Width	Full Width	3'-0" 0'-0"	12" Concrete Block or Masonry Independent	Yes No	Yes Yes	Yes Yes
8	Baseball Building	BSW	Full Width	Full Width	5'-0" 3'-0"	12" Concrete Block or Masonry Independent	Yes No	No Yes	Yes Yes

*Spandrel(s) by Seller: Seller to provide spandrel for lateral support of wall as requested.

Support at Columns Only: No spandrel provided by Seller, material by others attached to Seller's Columns.

Independent: No structural attachment to Seller structure.

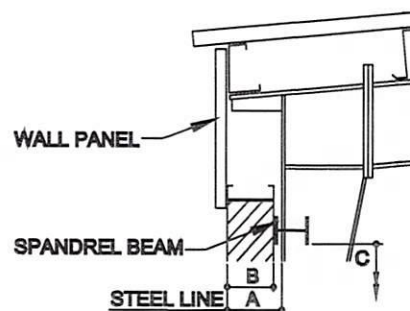
Wall Support Information

Deletion ID: 3, 4, 7, 8

Wall Condition: Low Side Partial Height Wall (Std. Panel Above)

☒ = Information Assumed by Seller

- ☐ Load Bearing Wall? Yes
- ☐ (A) Face of Column to Steel Line: 0'-1"
- ☐ (B) Face of Spandrel to Steel Line: NA
- ☐ (C) Min. Clear Below Spandrel: NA



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11) WALL DELETIONS (CONTINUED)

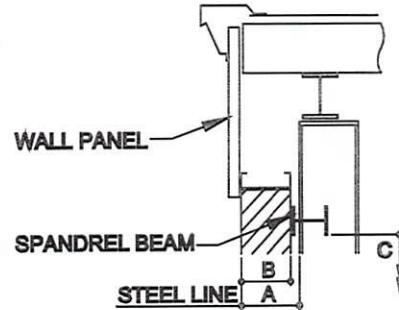
Wall Support Information

Deletion ID: 1, 2, 5, 6

Wall Condition: Partial Height Wall (Std. Panel Above)

☒ = Information Assumed by Seller

- ☐ Load Bearing Wall? Yes
☐ Rake Angle Only? No
☐ (A) Face of Column to Steel Line: 0'-1"
☐ (B) Face of Spandrel to Steel Line: NA
☐ (C) Min. Clear Below Spandrel: NA



12) BRACING OPTIONS

Building Name	Wall ID	Bracing Type	Clear Height Requested	User Specified Bay #'s	Bracing in Bay #'s
Baseball Building	LEW, REW	Wall X-Bracing	N/A	No	TBD
Baseball Building	FSW, BSW	Wall X-Bracing	N/A	No	2

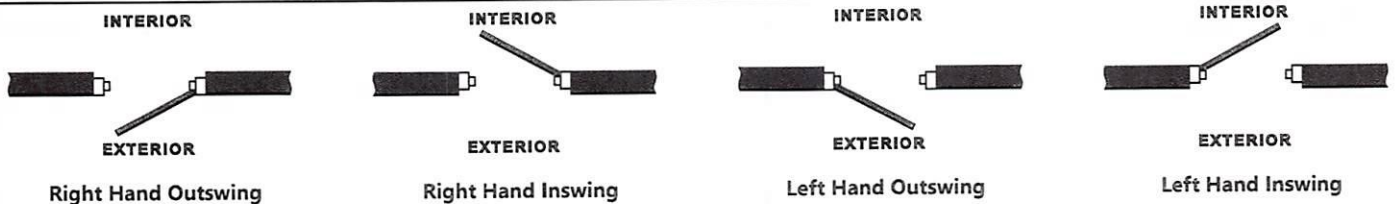
Sketch must show locations for bracing on the sidewall bays and endwall bays.

13) WALL & CEILING LINER - NONE REQUIRED

14) PARTITION WALLS / DRAFT CURTAINS - NONE REQUIRED

15) WALKDOORS

Building Name	ID	Qty	Size	Type	Swing	Color	Glass	Lockset
Baseball Building	A	1	3070	Pre-Assembled Walkdoor	TBD	TBD	None	Lever Lock w/ Separate Dead Bolt Heavy Duty PA
Baseball Building	B	1	3070	Pre-Assembled Walkdoor	TBD	TBD	None	Lever Lock w/ Separate Dead Bolt Heavy Duty PA



WALKDOORS (ADDITIONAL PROPERTIES)

Building Name	ID	Stainless Steel Hinges?	Pivot Hinges?	Latch Guard?	Closer?	Crash Chain?	Jamb Extensions?	Liner Trim Required?
Baseball Building	A	No	N/A	Yes	No	No	No	No
Baseball Building	B	No	N/A	Yes	No	No	No	No

16) WINDOWS - NONE REQUIRED

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17) WALL LITES - NONE REQUIRED

18) CANOPY - NONE REQUIRED

19) FASCIA - NONE REQUIRED

20) RAKE / EAVE EXTENSIONS

Building Name	Wall I.D.	Type	Projection Dimension	Length	Loc. Left Steel Line	Soffit Panel
Baseball Building	LEW	Rake	2'-0"	Full Wall Length	0'-0"	Reverse R-Panel, 26 ga., TBK
Baseball Building	FSW	Eave	2'-0"	Full Wall Length	0'-0"	Reverse R-Panel, 26 ga., TBK
Baseball Building	REW	Rake	2'-0"	Full Wall Length	0'-0"	Reverse R-Panel, 26 ga., TBK
Baseball Building	BSW	Eave	2'-0"	Full Wall Length	0'-0"	Reverse R-Panel, 26 ga., TBK

21) PARAPET WALLS - NONE REQUIRED

22) MEZZANINES - NONE REQUIRED

23) CRANES - NONE REQUIRED

24) JIB CRANES - NONE REQUIRED

25) EXISTING BUILDING - NONE REQUIRED

26) FUTURE BUILDING - NONE REQUIRED

27) SPECIAL USER NOTES

Baseplate elevation 5' off finish floor. Maximum base plate depth 12" to match independent CMU wall

Rake extension soffit panels to run perpendicular to the building

Wall sheeting to extend over CMU wall to 36" off finish floor with builder to provide brick veneer from finish floor up 36" to wall panel alternate trim.

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28) EQUOTE QUALIFICATIONS

Project-wide

1. In the Deflection Requirements (Serviceability Criteria) section of the Quote and Order Document, the Horizontal Serviceability limits reported are checked using 10 year reoccurrence loading. The Vertical Serviceability limits reported are checked using Snow/Live Loads.
2. Special inspections and testing that may be required by governmental or other authority during construction and/or steel fabrication (collectively, "Inspections") are not the responsibility of NBG, and to the extent required it shall be the responsibility of the builder and/or owner. In the event Inspections are required, the builder and/or owner shall employ a third party quality assurance testing agency approved by the relevant authority. The builder/owner shall cause such testing agency to coordinate directly with the NBG facility as applicable. Any Inspections required to be performed by such testing agency at any NBG facility must be clearly described in the Sales Documents and must be in accordance with the standard NBG Terms and Conditions. If such requirements are not specifically included in NBG Sales Documents, no Inspections by NBG or at any NBG facility shall be made. All NBG facilities are accredited by IAS AC472.
3. If this project should cancel or be placed on hold before fabrication, in addition to other remedies available at law or in equity, cancellation/hold fees will be invoiced consistent with what stage of the project has been completed. The following is the payment schedule based on the completed stages: Anchor Bolts Completed: 5 percent of the contract price. Permits/Approvals Completed: 10 percent of the contract price. Detailing Completed: 25 percent of the contract price. If this project should cancel before fabrication, Purchaser will also be invoiced for any dedicated materials that have been purchased for the project.
4. For Occupancy Category I or II buildings, IBC allows for single story buildings to have no limit for seismic story drift. Please note that any interior walls, partitions, ceilings, and exterior walls should be detailed (by others) to accommodate this story drift.
5. Standing Seam 360 panel will require the use of a seam starter/finisher and Electric Seamer. Seamers not included in price but available through D.I. Roof Seamers. Visit DI's website, www.diroofseamers.com/m/american, for current pricing.

Baseball Building

6. The roof snow load reported for this project reflects the minimum for low-slope roofs and will be applied as a uniform load in combination with dead and collateral loads. In other loading conditions, roof snow loads are determined in strict accordance with the applied building code provisions and are derived from the given ground snow load.
7. The standard Pre-Assembled and Knockdown Walkdoors priced in eQuote meet Federal ADA requirements. This includes all components of the door such as hardware, hardware height, and window height. State and local jurisdictions may modify ADA to provide more strict specifications. If your project is controlled by such mandates, it is your responsibility to ensure that your order document clearly communicates to the Seller the nature of your compliance needs.
8. The 0 x 3 wall deletion on the LeftEndwall used a Concrete Block or Masonry material factor of 55 psf.
9. The 0 x 2 wall deletion on the LeftEndwall used a Concrete Block or Masonry material factor of 55 psf.
10. The 0 x 3 wall deletion on the RightEndwall used a Concrete Block or Masonry material factor of 55 psf.
11. The 0 x 2 wall deletion on the RightEndwall used a Concrete Block or Masonry material factor of 55 psf.
12. Auto-find determined 3 downspouts required along FSW. Subject to change based upon final design.
13. Auto-find determined 3 downspouts required along BSW. Subject to change based upon final design.

* = Added by Estimating

SELLER'S SCOPE OF WORK CONTAINS CERTAIN EXCLUSIONS, INCLUDING BUT NOT LIMITED TO:

1. Anchor Bolts
2. Anchor Bolt Embedment Design
3. Foundation Design
4. All other items not specifically listed in this proposal

NUCOR BUILDINGS GROUP STANDARD TERMS & CONDITIONS OF SALE (Rev. 6/5/2020)

All sales by the specific facility or entity of the Nucor Buildings Group ("Seller") set forth on the applicable Seller-issued sales order acknowledgement and/or Seller-issued sales order documents (collectively "Sales Documents") are made expressly subject to the following terms and conditions. Seller expressly rejects any different or additional terms or conditions contained in any documents submitted by the person or entity named as Purchaser in the Sales Documents ("Purchaser") or any third party. Seller's provision of credit, acceptance of any purchase order and/or sale of any goods are expressly made conditional on Purchaser's assent to these terms and conditions. Purchaser will be responsible to Seller for any and all of Purchaser's obligations with respect to each transaction contemplated by the Sales Documents (each, an "Order"). Any liability or obligations arising pursuant to any Order shall be considered confined and several (not joint) to the applicable Seller set forth in the Sales Documents.

NUCOR BUILDINGS GROUP STANDARD TERMS & CONDITIONS OF SALE (Rev. 6/5/2020) (CONTINUED)

1. **Order Acceptance.** Orders by Purchaser may be accepted only by mutually executed Sales Documents, which Sales Documents, together with these terms and conditions constitute the entire agreement (this "Agreement") between Seller and Purchaser relating to Seller's sale of the metal building components and related accessories set forth in the applicable Sales Documents (the "Products") to Purchaser. For each Order, the part identification numbers, coverings system identification names, and specific details utilized to construct each building system will vary based upon the applicable Seller manufacturing the Products. The "Common Industry Practices" in the current edition of the Metal Building Manufacturer's Association Building Systems Manual are hereby incorporated into this Agreement by reference. The "Common Industry Practices" apply to this transaction unless the terms thereof conflict with the express terms of this Agreement, in which event the terms of this Agreement shall govern.
2. **Payment Terms.** Unless otherwise set forth in this Agreement and approved by Seller's authorized credit representative, terms of payment are 10% prepaid and the balance paid cash on delivery or tender of delivery. In the event Purchaser fails to make payment to Seller, or any affiliate of Seller, of any amounts due and owing to Seller or such affiliate (including any applicable surcharge or freight charge), Seller shall have the right to terminate any Sales Documents or any unfulfilled portion thereof, and Seller or any affiliate thereof may terminate any other agreement between Seller or such affiliate and Purchaser. Seller may charge interest on the outstanding balance at a rate of 1.5% per month, or the highest rate allowed by law (whichever is less). Seller shall have the right to employ an attorney to collect the balance due, and Purchaser agrees to pay all collection costs incurred by Seller, including its reasonable attorneys' fees. NO RETAINAGE BY PURCHASER IS PERMITTED. Upon Seller having reasonable grounds for insecurity with respect to Purchaser's performance, Seller may demand written assurance of performance. Until adequate assurance is received, Seller may suspend performance, including, without limitation, design, fabrication or delivery of the Products. Purchaser shall provide adequate assurance within ten (10) days from Seller's demand. Absent adequate assurance acceptable to Seller, Seller shall also be authorized to modify terms of sale, in addition to any other rights or remedies provided by law. Seller's exercise of its rights to adequate assurance of performance shall not excuse Purchaser's breach of this Agreement. Purchaser shall pay Seller's costs of engineering work orders, purchase of out-sourced materials or services, processing, engineering, detailing and producing all approval, permit, or similar erection drawings and details upon delivery of such drawings and receipt of Seller's invoice, which payment shall be credited against the purchase price. If payment is made by credit card, Seller shall be entitled to charge Purchaser a surcharge in an amount consistent with the fees and charges assessed to Seller by third-party processors and others related to credit card payment.
3. **Taxes.** All taxes of any kind levied by any federal, state, municipal or other governmental authority, which tax Seller is required to collect or pay with respect to an Order shall be the responsibility of Purchaser. Purchaser agrees to pay all such taxes and further agrees to reimburse Seller for any such payments made by Seller. Unless otherwise specifically agreed in the Sales Documents, taxes are not included in the applicable sales price.
4. **Delivery.** All deliveries are EXW (Incoterms 2020) loaded Seller shipping facility, at which time title and risk of loss shall pass to Purchaser. If freight is prepaid, freight charges will be added to the invoice. Neither freight charges nor tax is subject to any discount. Claims for loss or damage in transit shall be made by Purchaser directly with carrier. Purchaser shall collect the Products at Seller's shipping facility within ten (10) days after Seller's notification of the availability of Products. After such 10-day period, Seller reserves the right to charge storage fees as defined below without further notification. Delivery dates are approximate. Delivery schedules will be extended due to any delays in approvals, order clarification, Product or design changes, credit hold, or Purchaser or end customer ("End Customer") design or fabrication holds ("Purchaser Delays"). Any "Must Ship By Date" set forth in the Sales Documents is for purpose of price protection only. If the Products do not ship by the designated "Must Ship By Date" due to delays beyond Seller's control, including without limitation, Purchaser Delays, (a) the price provided in the Sales Documents may be increased by Seller for any additional costs incurred by Seller, with such price increases shall be implemented by Change Order (as defined below) issued by Seller, which shall be binding on Purchaser, and (b) Seller shall invoice Purchaser for the full amount of the purchase price of such Products, which shall be paid in accordance with the terms of payment herein. Risk of loss shall be assumed by Purchaser upon notice that the Products are stored. Seller shall not be liable for loss, damage or deterioration of Stored Products. Stored Products are susceptible to damage and deterioration, and any claims, actions or damages for such deterioration or damage are hereby waived. Seller may, at its option, store the Products in covered or outside space. Storage charges will accrue at \$100 per load per day, max at \$500 per load per week, until actual shipment. Storage charges are due upon invoicing. In the event Purchaser requests that Seller delay any shipment, Purchaser shall provide reasonable evidence of property insurance on the Products, with waivers of any and all rights of subrogation, including without limitation, legal, equitable and contractual claims, against Seller, and designating Seller as loss payee. As an accommodation to Purchaser, Seller may arrange for shipment to a location designated by Purchaser (the "Destination"). In such event: (a) Purchaser agrees to make available a safe location for unloading at the Destination; (b) each load shall be unloaded by Purchaser within four (4) hours of the arrival time ("Unloading Window") at the Destination, and for the first four (4) hours after the Unloading Window, Purchaser shall pay an additional fee of \$50 per hour of delay per load, and thereafter, Purchaser shall be responsible for any and all additional costs associated with continued delay; (c) if arrival of a particular load at the Destination does not occur within two (2) hours of the scheduled arrival time, Seller agrees to credit Purchaser \$50 per hour per load with a maximum of \$400 per load, which is Purchaser's exclusive remedy for such delay; (d) freight damage must be noted on the applicable shipping documents and notice and request for instructions must be transmitted to Seller prior to the carrier leaving the Destination; (e) shortages must be reported within thirty (30) days following delivery. In order to obtain credits for late arrival, arrival times must be clearly noted on the bill of lading and signed by Purchaser's authorized representative.
5. **Force Majeure.** Seller shall not be responsible for non-shipment of Products or delays in delivery or performance due to causes beyond its reasonable control, including, but not limited to, acts of God; acts of Purchaser; epidemic, pandemic or public health crisis; strikes or other labor disturbances; Seller's inability to obtain, or material increases in the cost of, fuel, raw materials or parts; change in, or order under, any government law, ordinance, rule or regulation (whether valid or invalid); delays in transportation; repairs to equipment; fires; accidents; or any other contingency beyond the reasonable control of Seller, whether or not the contingency is of the same class as those enumerated above, it being expressly agreed that such enumeration is non-exclusive. Acceptance of Products upon delivery shall constitute a waiver by Purchaser of any claim for damages on account of non-shipment or delays in delivery or performance.
6. **Product Warranty.** SUBJECT TO STANDARD MANUFACTURING VARIATIONS, SELLER WARRANTS THAT THE PRODUCTS SHALL MEET THE PRODUCT SPECIFICATIONS SET FORTH IN THE APPLICABLE SALES DOCUMENTS FOR A PERIOD OF TWO (2) YEARS FROM THE DATE OF DELIVERY TO PURCHASER. SELLER MAKES NO OTHER WARRANTIES, EXPRESS OR IMPLIED, AND SPECIFICALLY DISCLAIMS ALL WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. Purchaser may purchase certain optional warranties not included in this Agreement for the benefit of any End Customer as may then be available and applicable to the Products in accordance with Seller's applicable warranty program. Notwithstanding the foregoing, Seller's warranties shall only become effective upon payment in full for the Products and/or any additional warranties purchased by Purchaser, as applicable.

QUOTE AND ORDER DOCUMENT
AMERICAN BUILDINGS

American Buildings Company Illinois, LLC
2101 East Main - El Paso, IL 61738
- Phone: (309) 527-1500 - Fax: (309) 527-1522

PROJECT #:
QUOTE #: MOL-25049-R3
CUST QUOTE #: Preliminary
LABEL: 4 - Created from 2
CONTROL #: P202508291657

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eQuote

DATE: 8/29/2025

NUCOR BUILDINGS GROUP STANDARD TERMS & CONDITIONS OF SALE (Rev. 6/5/2020) (CONTINUED)

7. **Claims.** No claims for non-conforming Products will be allowed unless Seller (a) is given notice of the applicable claim within six months following delivery, and (b) allowed an opportunity to inspect them or otherwise provided conclusive evidence supporting the claim. Products for which damages are claimed shall not be returned, repaired, or discarded without Seller's written consent. Seller will not pay any claims or accept any back-charges from Purchaser related to correction of errors and repairs unless prior to any correction or repair Purchaser provides Seller with a written notice describing such claim in reasonable detail, including without limitation sufficient information to allow Seller to evaluate such claim, determine the estimated amount of man-hours needed, materials required and overall direct cost to Purchaser to address such non-conforming Products. If Seller determines that the Products are non-conforming, Seller may authorize corrective action by issuing Purchaser a written authorization. After receiving such authorization, Purchaser can make the corrections. The maximum hourly labor rate for work approved by Seller shall not exceed \$45.00 per hour, unless otherwise specified in the written authorization. Cost of equipment (rental expense, value or depreciation), tools, supervision, overhead and profit, and delay charges are specifically excluded. **PURCHASER'S EXCLUSIVE REMEDY AGAINST SELLER, AND SELLER'S SOLE OBLIGATION, FOR ANY AND ALL CLAIMS, WHETHER FOR BREACH OF CONTRACT, WARRANTY, TORT (INCLUDING NEGLIGENCE), OR OTHERWISE, SHALL BE LIMITED TO, AT SELLER'S OPTION, SELLER'S: (A) AUTHORIZATION TO PURCHASER FOR CORRECTIVE ACTION FOR THE NON-CONFORMING PRODUCTS; (B) REPLACING NON-CONFORMING PRODUCTS; OR (C) REFUNDING THE PURCHASE PRICE OF THE NON-CONFORMING PRODUCTS. IN NO EVENT SHALL SELLER HAVE ANY LIABILITY FOR DAMAGES IN AN AMOUNT EXCEEDING THE PURCHASE PRICE OF THE PRODUCTS IN QUESTION, NOR SHALL SELLER HAVE ANY LIABILITY FOR SPECIAL, INCIDENTAL, INDIRECT, PUNITIVE OR CONSEQUENTIAL DAMAGES. SELLER SHALL NOT BE RESPONSIBLE FOR LOSS OR DAMAGE TO PRODUCTS AFTER DELIVERY.** Any Claims which have not been asserted by written notice to Seller within the designated time periods hereunder are waived. Any legal action or proceeding by Purchaser must be commenced within one (1) year from date of delivery or the date the cause of action accrues, whichever is earlier.
8. **Purchaser Warranty.** Purchaser warrants that (a) it has determined the intended use of the building in which the Products will be incorporated; (b) it has determined and specified in writing to Seller all loads for such buildings, including, but not limited to, live load, wind load, snow load, collateral, mechanical or auxiliary loads, seismic data, importance and exposure factors, and the same are set forth in the Sales Documents; (c) such determinations and specifications comply with applicable building codes, statutory and regulatory requirements pertaining to such buildings and the Products; (d) all Products sold pursuant to this Agreement shall be erected in accordance with Seller's erection drawings, details, manuals and any applicable erection specifications; (e) Purchaser, End Customer or their respective licensed design professional ("**Design Professional**") shall be responsible for erection, supervision of erection, inspection of erection, field connections, structural connections, bracing to structural systems, and all required engineering related to the foregoing; and (f) that all loads, exposure factors, codes and other specifications in the Sales Documents (i) were specified correctly to Seller, and are otherwise true, correct and complete, (ii) have been determined in consultation with a licensed Design Professional or local governmental administrator, and (iii) fully satisfy local governmental and regulatory requirements for the building and Products, as well as satisfy any special use requirements or specifications of End Customer. Purchaser acknowledges that Seller is not the Design Professional of record for any project. Purchaser, End Customer or their Design Professionals shall be responsible for the design, installation and maintenance of translucent panels or skylights in compliance with applicable laws and standards. Seller has no responsibility for erection, supervision of erection, or inspection of erection of the Products. Field connections, structural connections, and bracing to structural systems provided by others are not the responsibility of Seller and require engineering by the End Customer's or Purchaser's qualified Design Professional. Purchaser shall indemnify, defend and hold Seller harmless from all claims, actions, damages, losses or expenses, including without limitation reasonable attorney's fees and litigation expenses, arising out of or related to erection, supervision of erection, inspection of erection, field connections, structural connections, bracing to structural systems, and all required engineering related thereto, including without limitation (W) noncompliance with Seller's erection plans or the Sales Documents; (X) negligent or faulty erection of the Products by Purchaser, End Customer or their subcontractors; (Y) inadequate structural systems, connections, bracing or other materials provided by third parties; or (Z) any breach of any of Purchaser's warranties or obligations under this Agreement.
9. **Change Orders.** This Agreement may be modified or amended only by a written change order issued by Seller (a "**Change Order**"). A Change Order issued by Seller and signed by Purchaser shall be effective only upon final acceptance by Seller.
10. **Inspections.** This Agreement contains no provision for Purchaser's inspection of Seller's facility or fabrication. If an inspection is required by Purchaser, Seller must be notified a minimum of four (4) weeks prior to the scheduled delivery date. Any inspection must take place at Seller's facility prior to application of the primer and without interruption to Seller's business, and must otherwise comply with the AISC Code of Standard Practice pertaining to inspections and approvals. Any inspector fees, travel expenses, and expense of special inspection equipment are Purchaser's sole liability. The reasonable costs and expenses incurred by Seller arising from Purchaser's inspection of fabrication shall be paid by Purchaser. Any conditions inspected must pertain specifically to the Products manufactured by Seller for this Agreement. **FIELD INSPECTIONS OF ANY NATURE ARE NOT WITHIN THE SCOPE OF THIS AGREEMENT.** Inspections may be included only as part of additional warranties purchased by Purchaser as specified in the Sales Documents.
11. **Severability/Governing Law/Assignment.** If any provision of this Agreement is found to be invalid or unenforceable under applicable law, such provision shall be severable and the remaining provisions of this Agreement shall remain in full force and effect. To the fullest extent allowed by law, this Agreement shall be governed by the laws of the State in which Seller's facility is located, without regard to any conflicts of laws provisions that would direct the application of the laws of any other jurisdiction. Purchaser may not assign, transfer or delegate this Agreement or any interest or obligation herein. Seller may assign, transfer or delegate this Agreement or any portion of its obligations hereunder to an affiliate or subsidiary of Seller. Subject to this **Section 11**, this Agreement shall bind and benefit only Seller and Purchaser and shall not benefit any other persons or entities and shall not be deemed to create any rights in favor of any End Customer or other persons or entities, whether or not referred to in this Agreement.

QUOTE AND ORDER DOCUMENT
AMERICAN BUILDINGS

American Buildings Company Illinois, LLC
2101 East Main - El Paso, IL 61738
- Phone: (309) 527-1500 - Fax: (309) 527-1522

PROJECT #:
QUOTE #: M0L-25049-R3
CUST QUOTE #: Preliminary
LABEL: 4 - Created from 2
CONTROL #: P202508291657

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eQuote

DATE: 8/29/2025

NUCOR BUILDINGS GROUP STANDARD TERMS & CONDITIONS OF SALE (Rev. 6/5/2020) (CONTINUED)

12. **Dispute Resolution.** Any dispute arising in connection with this Agreement shall be submitted to arbitration; provided, however, Purchaser and Seller agree that the sole exceptions to the foregoing are that Seller, at its sole option, may require that disputes involving patent infringement claims (including without limitation direct claims as well as related indemnity or warranty claims), requests for injunctive relief or actions to enforce any lien rights, rights under any surety bond, or arbitral award, be submitted to any court of competent jurisdiction. Except as otherwise set forth in this Section 12, such arbitration shall be conducted pursuant to the Federal Arbitration Act (9 U.S.C. 1 et seq.). The language of arbitration shall be English. To the fullest extent allowed by law, the place of arbitration shall be, at the option of Seller, any city within the State in which Seller's shipping facility is located, or Charlotte, North Carolina. If the amount in dispute is less than \$1,000,000, all issues shall be determined by one (1) neutral arbitrator, and if the amount is equal to or greater than \$1,000,000, all issues shall be determined by three (3) neutral arbitrators. The arbitrator(s) shall be selected pursuant to the AAA "Arbitrator Select: List and Appointment" process, or if unavailable, a similar process offered by any other nationally recognized alternative dispute resolution organization. The arbitrator(s) shall have the authority to and shall award the prevailing party its reasonable costs and attorneys' fees. Failing such award, expenses of the arbitration shall be divided equally between the parties. In the event of arbitration, the arbitration panel shall pass finally upon all questions, both of law and fact, and its findings and award shall be conclusive. Pre-hearing discovery shall be available to both parties and shall be governed by the Federal Rules of Civil Procedure. Such discovery may be used as evidence in the arbitration hearing to the same extent as if it were a court proceeding. All aspects of the arbitration proceedings, including but not limited to the results of the arbitration, information obtained by either party during the course of discovery, as well as the existence of the arbitration itself, unless necessary for confirmation or enforcement of an arbitration award or otherwise required to be disclosed pursuant to applicable law, shall be kept confidential and shall not be disclosed to any third party. Information obtained by either party during the course of discovery shall not be used except in connection with the arbitration proceeding, and at the conclusion of the proceeding shall be returned to the other party. Both parties shall make their agents and employees available upon reasonable notice at reasonable times and places for pre-hearing depositions without the necessity of subpoenas or other court orders. The arbitrators shall issue subpoenas to compel the attendance of, and the production of documents by, third party witnesses at depositions or at the hearing. Enforcement of the arbitration award may be ordered by any court of competent jurisdiction.

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AMERICAN BUILDINGS

American Buildings Company Illinois, LLC
2101 East Main - El Paso, IL 61738
- Phone: (309) 527-1500 - Fax: (309) 527-1522

PROJECT #:
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Page 13 of 14

eQuote

DATE: 8/29/2025

This Price will be honored if the Order is Entered by (Entry Date): 9/28/2025
and the price will be protected if Delivered by (Must Ship by Date): 1/18/2026

(Not a Delivery Date)

Subject to credit approval and the terms and conditions set out in these documents, those incorporated within your builder agreement, or on file with SELLER at order acceptance, all of which are specifically referred to and incorporated by this reference, SELLER proposes to furnish material as described above using SELLER standard material for the

SUM of **\$164,818.00**

This price does not contain tax (or GST, PST, or HST for Canada projects).

Freight Method: EXW Loaded Allowed to Shipping Address

Standard credit terms are 10% down, with the remainder C.O.D. upon delivery or offer to deliver. If you would like to apply for open account terms and have not done so, please complete a credit application and include it with the order. The SELLER'S Finance Department will review your application for consideration of open account. With open terms, all invoices are 1/2 of 1% discount if paid within 10 days, with the remainder due in 30 days from delivery or offer to deliver, no retainage allowed. This is the sole agreement between SELLER and the Buyer. Any modification or submission of an addition to this contract will affect the schedule, price or acceptance of this order.

This order is inclusive of standard SELLER terms and conditions set out in these documents on file at the time of order entry. Current MBMA Metal Building Systems Manual, (Common Industry Practices), is an integral part of this order.

AMERICAN BUILDINGS

American Buildings Company Illinois, LLC

BUYER'S ACCEPTANCE

Proposed: Joel Ruthe
SELLER Representative

8/29/2025

Date

By:

Company Name

Buyer's Authorized Representative

Phone: (309) 527-5420

Date:

Title:

PLEASE CAREFULLY READ AND UNDERSTAND THIS CONTRACT.
YOUR SIGNATURE INDICATES YOU HAVE ACCEPTED THE BUILDING AS DESCRIBED ON THIS ORDER DOCUMENT.

Acceptance by the Seller Constitutes a Firm and Binding Order

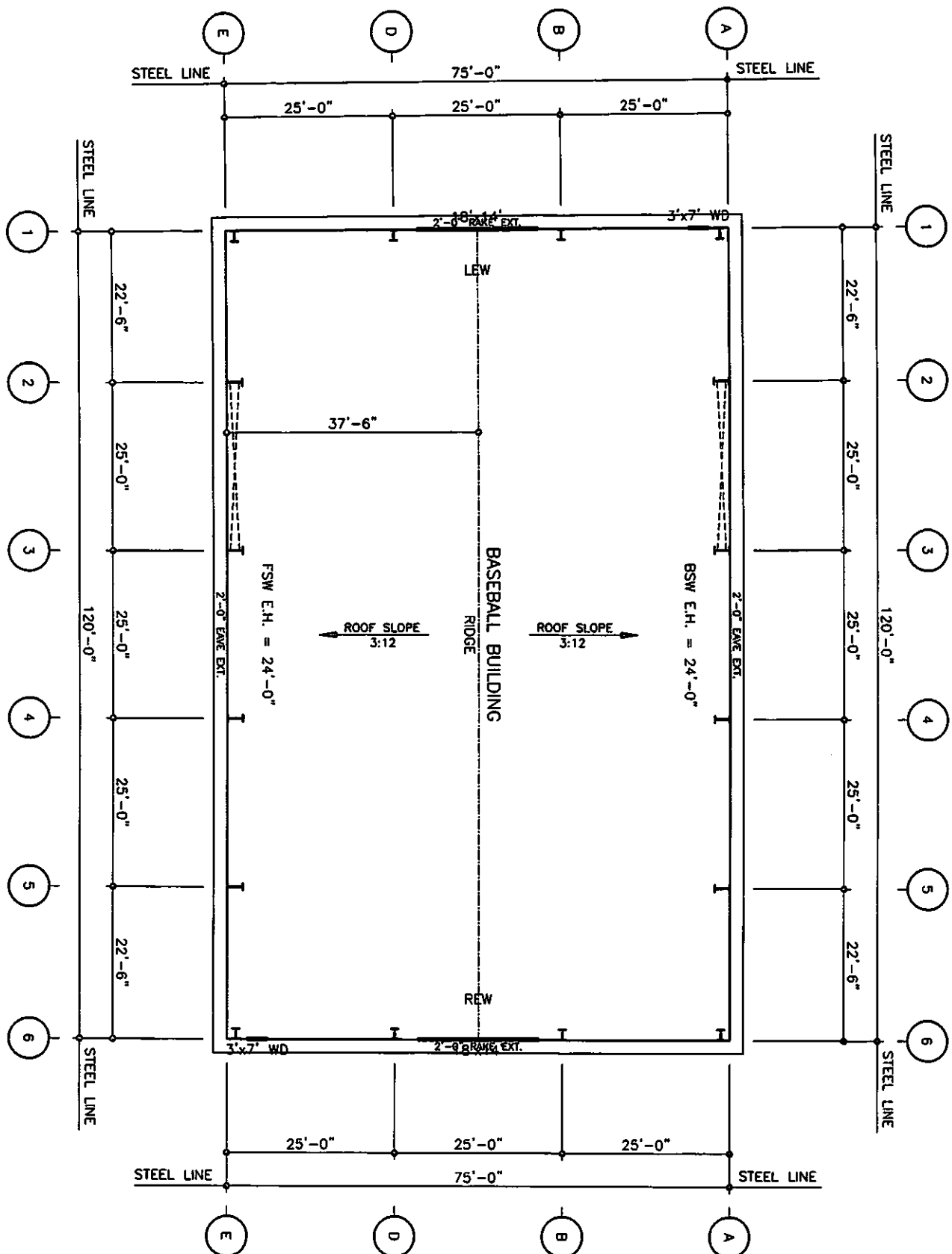
AMERICAN BUILDINGS
American Buildings Company Illinois, LLC
Seller

For SELLER
Acceptance

By:

Authorized SELLER Representative

Date



DO NOT USE FOR FINAL CONSTRUCTION

SHEET TITLE: 8/29/2025 4:57 PM

PRELIMINARY FLOOR PLAN

SHEET NUMBER:

FP1

QUOTE NUMBER:

MOL-25049-R3

PROJECT NAME:

BASEBALL STORAGE

BRADLEY, IL

CUSTOMER NAME:

JOHNSON-DOWNS CONSTR CO

KANKAKEE, IL



Quality Assured by
eQuote

